

# HUNTERS<sup>®</sup>

## EXCLUSIVE

**Woodside, Grassington**  
**Offers In Excess Of £650,000**  
Property Images



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### Property Images



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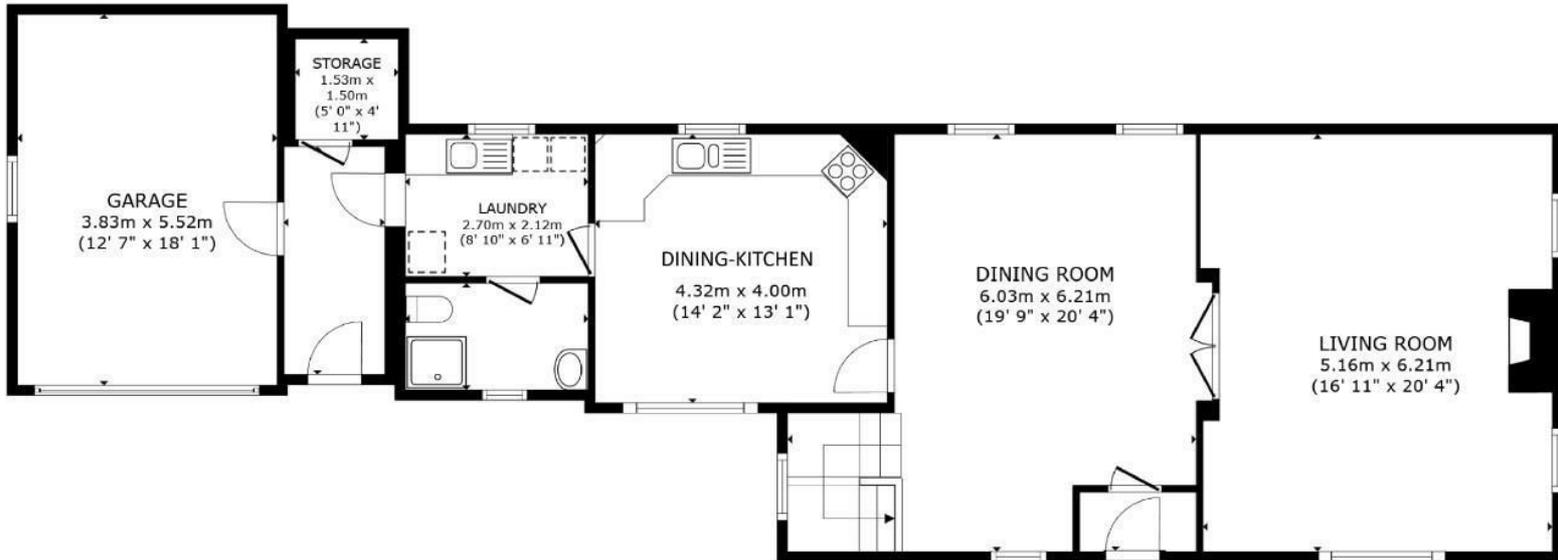
## EXCLUSIVE

### Property Images



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FLOOR 1



FLOOR 2

SIZES AND DIMENSIONS ARE APPROXIMATE, ACTUAL MAY VARY.

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### Energy Efficiency Rating

	Current	Potential
Very energy efficient - lower running costs		
(92 plus) <b>A</b>		
(81-91) <b>B</b>		
(69-80) <b>C</b>		
(55-68) <b>D</b>	66	
(39-54) <b>E</b>		
(21-38) <b>F</b>		
(1-20) <b>G</b>		
Not energy efficient - higher running costs		
		78
<b>England &amp; Wales</b>	EU Directive 2002/91/EC	



Don't let the 2 bed layout fool you! This is a substantial 1958 sq ft (plus garage) detached property with versatile layout to the first floor.

Set in a quiet location on the very edge of Grassington, this solid owner-built home offers a wonderful opportunity for those seeking a spacious and adaptable home.

This property is designed for both comfort and functionality and boasts some tremendous views over The Dales. The village square is but a 10 minute walk away, yet Woodside is off the main tourist routes.

The current layout features a generous sized dining room with front door lobby and oak beams, and a light-filled living room with hand carved fireplace incorporating a wood-burning-stove, perfect for entertaining or relaxing with family. The dining-kitchen is particularly impressive, boasting dual aspect windows that flood the space with natural light. It is equipped with traditional-solid-wood units, ample worktops, and fitted eye-level oven / grill and a gas hobs, making it a delightful area for culinary pursuits.

Adjacent to the kitchen, a practical laundry/utility room with units and worktops, and a shower room/WC add to the convenience of daily living. The integral garage, complete with a mezzanine for additional storage, further enhances the practicality of this home. The switch gear for the back-up generator is housed here.

As you ascend to the first floor via a return stair-case with feature arched window, you will find a spacious landing leading to the principal bedroom suite, which is both large and inviting. This suite features bespoke hand-built fitted furniture, dual aspect windows, an en suite bathroom, and a generous walk-in wardrobe. The second bedroom, a charming twin room, offers delightful views and is complemented by a house shower room.

Outside, the property is surrounded by well-stocked, south-facing front gardens, while a key-block driveway provides ample parking and access to the garage and parking areas. The expansive outdoor space presents a blank canvas for landscaping, and the included greenhouse adds to the appeal for gardening enthusiasts.

The property benefits from a back up generator which at the flick of switch kicks in to provide all the emergency power you may need.

Viewing this property is essential to fully appreciate its potential and the lifestyle it offers. With the possibility to reconfigure the first floor in particular, to create additional bedroom space, this home is a rare find in a picturesque setting.

#### **On-Line-Bullet-Points**

- A fine detached home on the edge of Grassington
- Scope to create more bedroom space if required
- Large living room and equally large dining room
- Dining-kitchen. Laundry room & cloakroom
- Fine views over The Dales
- Large single garage plus plenty of parking
- Scope to create designed garden at the rear
- Short walk to Main Square
- 2000 sq ft of space
- Back up generator system for emergency power